

BILL OF QUANTITIES  
FOR  
THE PROPOSED OFFICE PARTITIONING WORKS  
FOR  
**THE UNITED NATIONS DEVELOPMENT  
PROGRAMME (UNDP)**  
ON PLOT No. 20842, ALICK NKATA ROAD, LONG ACRES,  
LUSAKA.

Annex 2 BOQ	
Item	Description
<b>BOQ Section Summary</b>	
1	Demolitions and Relocations
2	Blockwork and Partitioning
3	Electrical Installations
4	Capentry,Joinery and Ironmongery
5	Floor and Wall Finishes
6	TOTAL PROPOSAL AMOUNT

Annex 2 BOQ			
Item	Description	Unit	Qty
1	<p align="center"><b>DEMOLITIONS AND RELOCATION</b></p> <p align="center"><b>Preamble</b></p> <p>All demolition procedures shall comply with structural safety standards for existing buildings and comply with Zambia Environmental Management Authority requirements.</p> <p align="center"><b>Salvage Materials</b></p> <p>All salvageable materials arising from the decommissioning, unless specially otherwise stated, shall become the property of the Client. Parts of the salvageable materials arising from the demolition shall be properly stored whilst other parts shall be prepared for reuse as instructed by the architect.</p> <p>All reference levels and measurements for all building works should be verified and agreed with Architect before commencement of works.</p>		
a	Completely take down concrete block wall and dispose of all debris as per architect 's instruction in second floor open plan office and the old reception and make good to all works disturbed.	m²	15
b	Completely take down drywall partition including the frames and dispose of debris as per architect's 'instruction in conference room, economic advisor 's office and RR/DRR associate/assistant's office	m²	20
c	Carefully take down existing slidding door units size 1800 x 2500mm high in the conferenceroom and associate/assistant 's office with all works complete as per architect 's instruction,(DR1,DR3)	No.	2
d	Carefully take down double glass door size (1800x 2600mm high ) including the fanlights,side lights door frame and door closer with all works complete as per architects instructions in the old reception (DR6,DR7)	No.	2
e	Remove existing spot light fittings with all wiring works and connections complete as per architect's instruction in the old reception	No	2
f	Shift existing fluoresent tube box, including all fittings and connections, from the current position to a new position as per drawing/engineers instruction.	No	7
g	Carefully remove existing fluoresent tube box,including all fittings,wiring and connections complete as per instruction and reuse as per architects instructions.	No.	8
Item	Description	Unit	Qty
	<b>DEMOLITIONS &amp; RELOCATION Conti...</b>		
h	Carefully remove existing flush doors including the alumnum frames for reuse,overall size 2000X 900mm and make good surfaces affected.(DR2,DR4,DR5,DR9,DR10,DR11)	No.	6
i	Carefully remove aluminum double door in the old reception overall size 2000 x 1800mm.(DR8)	No.	1
j	Remove PVC trunking size 50X130mm including all covers,separators,connections and mounting all works complete	m	5
k	Remove PVC trunking size 16X25mm including all covers,separators,connections and mounting all works complete.	m	13
l	Carefully remove and reinstall in new positions 12000BTU AC unit including all cabling,wiring,trunking and connections complete as per architect instruction	No	3
m	Carefully remove old phone lines all works complete and dispose in client approved location	Item	1
n	Carefully remove old data points including all wiring and connections all works complete and dispose in client approved location	No	3
o	Carefully remove existing ceiling tiles in areas to be specified by the architect and handover material to the client.	m²	165
p	Carefully remove existing carpet tiles in areas specified by the architect and handover material to the client.	m²	240
q	Carefully remove existing skirting from areas specified by the architect and dispose of material to client approved location	m	162
r	Carefully take down existing aluminum windows in the resident representative 's office including the frames, with all works complete as per architects instruction	No	6
r	Carefully remove tinted SRF in the resident coordinators 's office as per client 's instruction.	m²	10.5
Item	Description	Unit	Qty
2	<p align="center"><b>BLOCKWORK AND PARTIONING</b></p> <p align="center"><b>Hollow concrete blockwork load bearing (crushing strength not less than 3.5N/mm2) in cement mortar, mix 1:4 ; reinforced with brickforce wire at every third course(measured elsewhere) for external walls</b></p>		
a	150mm thick external walls	m²	8
	<b>Sundries</b>		
b	Two strand 3.25mm diameter steel wire brick reinforcement 150mm wide and built into walls (measured net; no allowance made for laps).	m	8
	<b>Three ply bituminous felt damp proof course (measured net; no allowance made for laps)</b>		
c	Three ply horizontal bituminous felt damp proof course 140mm wide laid in walls or concrete under same (measured net; no allowance made for laps)	m	5
	<b>Drywall partition</b>		
	GYPWALL Classic 51F30S39 with fire rating of 90 minutes and sound rating of Rw 39 dB consisting of 1 layer Gynroc china board sharp nonit screws 3.5mm diameter x 25mm at maximum 220mm centres.Donn UltraSTEEL™		

Gyproc rhino tape 50mm wide x 25mm at maximum 250mm centres. Apply Gyproc rhino tape to all joints and internal corners. Install Donn Corner bead to all external corners. Cover gyproc rhino tape with one layer of gyproc rhinolite. Skim the surface using one layer of gyproc rhinolite.			
d	100mm thick partitioning wall with floor track fixed to floor and head track fixed to concrete slab.	m2	45
Item	Description	Unit	Qty
3	<p align="center"><b>ELECTRICAL INSTALLATIONS (All Provisional)</b></p> <p align="center"><b>Preamble</b></p> <p>The contractor is deemed to have included in his rates for the following:-</p> <p>i) Cutting or forming holes, chases and other general building work required including making good finishings and other works disturbed.</p> <p>ii) Comply with all necessary bye-laws and rules with which the installations shall be required to comply</p> <p align="center"><b>Light Points</b></p> <p><b>Supply, install and connect all conduits, conduit fittings, cables and cable connections from Distribution Board to supply points, connected conduit installations, switches and light fittings (measured separately)</b></p>		
a	Ceiling mounted light point on 1 gang 1 way switch	No	30
	<p align="center"><b>Light Switches</b></p> <p><b>6amps flush type modular(plate) control switches fixed in suitable size 3x3" metal flush box suitable for modular switches and covered with modular switch plates</b></p>		
b	One gang one way LED indicator switch as Legrand or equal and approved by the architect	No	4
c	One gang one way dimmer control switch rated for LED fixed in 3x3" metal flush box	No	3
	<p align="center"><b>Power Points</b></p> <p><b>Supply,install and set to wall the following power points including all conduits, conduit fitting, cables and cable connections to connect the power point to the distribution board</b></p>		
d	13 Amp double switched socket outlet as Legrand or equal and approved by the architect.	No.	4
e	15Amp Surface mounted double socket outlet suitable for AC power point	No	1
f	Ceiling mounted indoor occupancy sensor power point	No	3
	<p align="center"><b>Light Fittings</b></p> <p><b>Supply,install and connect the following light fittings, fixing according to manufacturers specifications.</b></p>		
g	9W LED downlight fitting of as approved by the architect.	No.	27
h	2 X 36 watts fluorescent light fittings double parabolic surface mounted c/w LBR louvers and 36W LED fluorescent lamps cool white, color 4000K complete with necessary balast and all other accessories prewired as per Architects instruction all materials to be supplied by client	No	4
	<p align="center"><b>Occupancy Sensors</b></p> <p><b>Supply and install ceiling mounted internal movement and presence detectors to the existing light circuits,detection range 2.5 meters radius at 2.5 meters height 360 sensing area.</b></p>		
i	Ceiling mount sensor	No	3
	<p align="center"><b>Data Installation</b></p> <p><b>Data point RJ45 suitable for 803 ,(50x130mm) Legrand pvc trunking including fixing materials, accessories and interconnections complete.</b></p>		
j	Data socket outlet point complete with all the necessary cabling, cable glands, conduits to trunking and walls.	No.	7
	<p align="center"><b>Airconditioning units</b></p> <p><b>12000 BTU samsung airconditioning unit with all necessary cabling,wiring,trunking, all connections and works complete.</b></p>		
k		No.	1
	<p align="center"><b>PVC Trunking installation and fitting</b></p>		
l	PVC trunking size 50X130mm including all covers,separators,connections and mounting,	m	10
m	Fix loose PVC trunking covers size 50X130mm all works complete	m	5
n	Fix loose sockets in existing PVC trunking all works complete	No.	6
Item	Description	Unit	Qty
4	<p align="center"><b>CARPENTRY, JOINERY AND IRONMONGERY</b></p> <p align="center"><b>INTERIOR QUALITY SEMI SOLID CORE FLUSH DOORS TO BE SUPPLIED BY CLIENT</b></p>		
a	44mm thick door size 900 x 1960mm hang on butts to aluminium frame including(measured separately)hinges as( D5,D6,D7,D10,D11)	No.	5
	<p align="center"><b>IRONMONGERY AND FIXING TO TIMBER as described</b></p>		
b	Three lever mortice lock with stainless lever handle furniture	No.	4

c	Dorma DHC-SS-031B Stainless Steel hat and coat hook with rubber buffer door closers	No.	9
<b>SUNDRIES</b>			
d	Heavy duty rubber door stoppers	No.	18
e	4 mils(0.10mm) thick clear shutter resistant film to new windows pretested before installation as per manufactures and UNDSS 's instruction.	m <sup>2</sup>	26
<b>ALUMINIUM WORK</b>			
<b>Aluminium window and doors complete with frames,6mm thick clear glass, mortice locks and hinges fixed to block walls and dry wall partitions as per Architects instructions.</b>			
f	Overall door size 900 x 2000mm, (Natural aluminium) as (D2,D3,D4,D8,D9)	No	5
g	Overall window size 1000 x 1700mm (Bronze aluminum ) on block walls as (W1,W2,W3,W4,W5,W6,W7,W8,W9)	No	9
<b>Natural aluminium sliding door including the frame, top rail track complete with locks and hinges fixed to dry wall partition with clear glass as per architects instnction.</b>			
h	Overall door size 2000w x 2500hmm as (D1)	No	1
<b>Aluminium door frames for flush doors fixed to block walls and dry wall partitions as per Architects instructions.</b>			
i	Overall size 925x 2000mm	No	4
<b>Slidding Folding Doors</b>			
j	2400mm high,and 8mm thick,divided into 6 panels with 3 panels folding to the left and 3 folding to the right, in 100mm thick natural aluminium frame fixed on top rails or appropriate as per Architects instruction.	No	1
<b>Burglar bars</b>			
k	16mm x 16mm Steel round bar, burglar barriers to 3 windows fabrcated and fixed as per engineer instruction	Item	1
<b>Curtain wall</b>			
l	Supply and fix aluminium/glass walls as per manufacturer's specifications complete with aluminum frames and 6mm aluminium frames and glazing as per architect's details in curtain wall	m <sup>2</sup>	8
<b>Item</b>	<b>Description</b>	<b>Unit</b>	<b>Qty</b>
<b>5</b>	<b>FLOOR AND WALL FINISHES</b>		
<b>Floor Finishes</b>			
<b>Client approved high grade porcelain floor tiles fixed with approved tile fix and pointed in tinted grout, tile fix,mortor,grout,spacers,cutting and waste to be allowed for the contractor</b>			
a	600x600mm	m <sup>2</sup>	85
b	200x400mm	m <sup>2</sup>	160
c	Aluminum skirting 3 x 75mm on the walls with all connections and woks complete	m	162
<b>Wall Finishes</b>			
<b>TWO COATS EXTERNAL PLASTER (1:4) finished with a a wooden trowel on the following surfaces</b>			
d	Blockwalls including reveals or returns and part on concrete	m <sup>2</sup>	8
e	Wall filler to punctured drywall and brickwall	item	1
f	Skimming to roughly plastered brick walls	m <sup>2</sup>	2
i	Blockwalls including part on concrete	m <sup>2</sup>	8
<b>PREPARE AND APPLY one undercoat and two coats of Acrylic Paint on the following surfaces;</b>			
j	Drywall partitions, internally.	m <sup>2</sup>	420
k	To plastered walls, internally	m <sup>2</sup>	26
l	Plastered walls externally	m <sup>2</sup>	6
<b>Ceiling Finishes</b>			
<b>Acoustic Ceiling Panel Type 1 (ACT-1) use with existing 14 mm grid and shadow-line moulding fire rated, double web, exposed tee-grid as approved by Architect</b>			
m	600 x 600mm ceiling panels	m <sup>2</sup>	165
	Allow the provincial sums to be expended for testing the whole of the electrical installations and for replacing any defective work free of charge	LS	1
<b>PRELIMINARIES and GENERAL ITEMS</b>			
	Site Establishment	LS	1
	Demobilization Cost	LS	1

## **STATEMENT OF WORKS**

### **1. PRICES AND CURRENCY**

The prices given, by the Contract, hereunder in the BOQ shall be in Zambian Kwacha Furthermore, inflation and escalation or changes whatsoever shall not be subject of claim later.

The Unit Prices entered against the various items in the following Bill of Quantities include all operation costs for execution, completion and maintenance of the various items of the works finished completely in every respect till the final acceptance as specified or described in the Tender Documents, with or without modifications, either by way of additions or deductions, or alterations as may be offered in writing during the progress of the works, and include, without being limited to, all what is deemed necessary particularly referred to in the Tender Documents.

The Unit Price shall cover all costs of every kind whatsoever including, without being limited to, all charges for additional site installations, relocation, supervision, labor, transportation and supply of materials; the provision, maintenance, use and efficient repair of all plant, equipment and appliance of every kind, the construction and maintenance of all temporary works, the performance of all services and the fulfillment of all obligations and responsibilities herein defined.

The Tenderer shall be deemed to have fully considered all the conditions, obligations, and requirements of the Tender Documents before entering the respective unit price against the various items of the Bill of Quantities.

The Unit Prices given hereunder in the Bill of Quantity for this work shall also include overheads, risks, profit etc. and all other financial matters to have all these civil works completed.

The works, materials or activities listed in the following shall always be considered as supportive works to be included in the Unit Prices bid for any item in the Bill of Quantities:

- Any measurement for execution and payment of the works, including the provision of measuring instruments, gauges, setting out marks, marking paint and relevant tools, labor, etc., the maintenance and preservation of gauges and setting-out marks during the execution of the works.
- Provision of small tackle tools or any other equipment required for the execution of the works.
- Supply of consumable materials for the Contractor's equipment.
- Removal of all contamination (refuse, debris, building rubbish and the like) arising from or in connection with the Contractor's work to locations approved by the engineers
- Protection of the executed works and of the items made available for execution of the works from damage, fire, inclement weather, vandalism and theft etc., until the time of final acceptance.
- Transportation of all materials and structural components from the storage places on site to the points of use and return transportation, if required.

- Submitting and transporting any samples required.
- Carrying out tests on materials and works, etc., that is required by the Engineer.
- Fuel and lubricants for operation of Contractor's equipment.
- All safety precautions and measures for safeguarding labor as well as securing surrounding areas.
- Lighting of the work site.
- Maintenance, repair or reconstruct damaged infrastructure resulted by contractor's activities

## **2. SITE ACCESS AND STORAGE**

The Tenderer shall visit the offices and ascertain the location of required access onto these offices and the location of allowance for complying with the requirements and for the reinstatement to original condition of all offices and areas used or disturbed by the Contractor to the satisfaction of the Engineer.

## **3. SITE INSTALLATION**

All costs of labor, works, provisions, materials and equipment for Site Installations required by the Contractor and stipulated in the Tender Documents shall be included in the various unit prices of the Bill of Quantities. No extra payment will be allowed by the Employer for any of these activities.

## **4. DURATION**

The total duration of the contract is 5 weeks including weekends, holidays and official holidays. Official weekends are Fridays and Saturdays. Note that the UNDP offices are used during the week, therefore contractor will be required to carry out major and noisy works under this project during the weekends, from Friday 14:00hrs to Sunday 17:00hrs. Other minor works can be carried during the week after official UNDP working hours subject to clearance by UNDP management and UNDSS.

## **5. General CONTRACTOR'S OBLIGATIONS:**

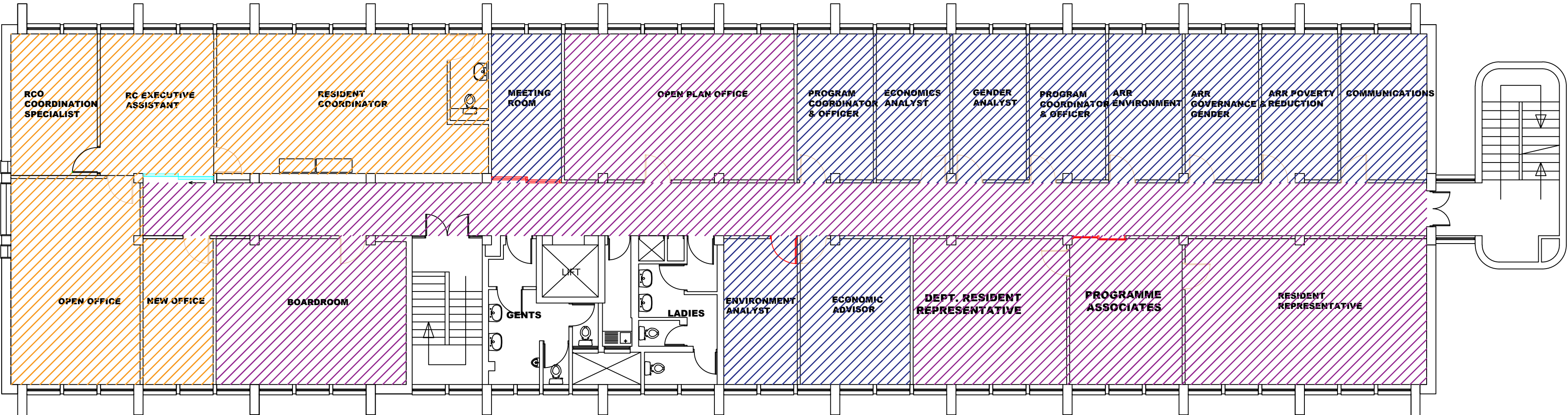
- The Contractor has to submit Detailed Shop Drawings to be approved by the Engineer before commencement of the work, and all required materials should be supplied as specified and subject to the Engineer approval.
- All works has to be done according to the Engineer's instructions, Drawings and specification.
- The Contractor has to repair any damages of any services at full satisfaction of relevant Service Authority
- The Contractor shall indemnify and keep indemnified the UNDP against all losses and claims for injuries or damage to any persons or any property whatsoever which may arise out of or in consequence of the construction and maintenance of works and against all claims, demands proceedings, damages costs, charges and expenses whatsoever in respect of or in relation thereto.
- The contractor will have to make their own arrangement for facilitating movement of labor and materials to work site and back.
- The contractor shall provide and maintain at his own expenses site hoarding, furniture covers and safety signs when and where necessary or required by the Engineer-in-Charge for the protection of the works, existing office furniture and equipment and for the safety and convenience of those employed on the works and the UNDP staff.

- If any Urgent work (in respect whereof the decision of the Engineer-in-Charge shall be final and binding) becomes necessary and Contractor is unable or unwilling at once to carry it out, the Engineer-in-Charge may by his own or other workpeople carry it out, as he may consider necessary. If the urgent work shall be such as the Contractor is liable under the contract to carry out at his expenses incurred on it by the UNDP shall be recoverable from the Contractor and be adjusted or set off against any sum payable to him.

**6. Measurement method/field measurements:**

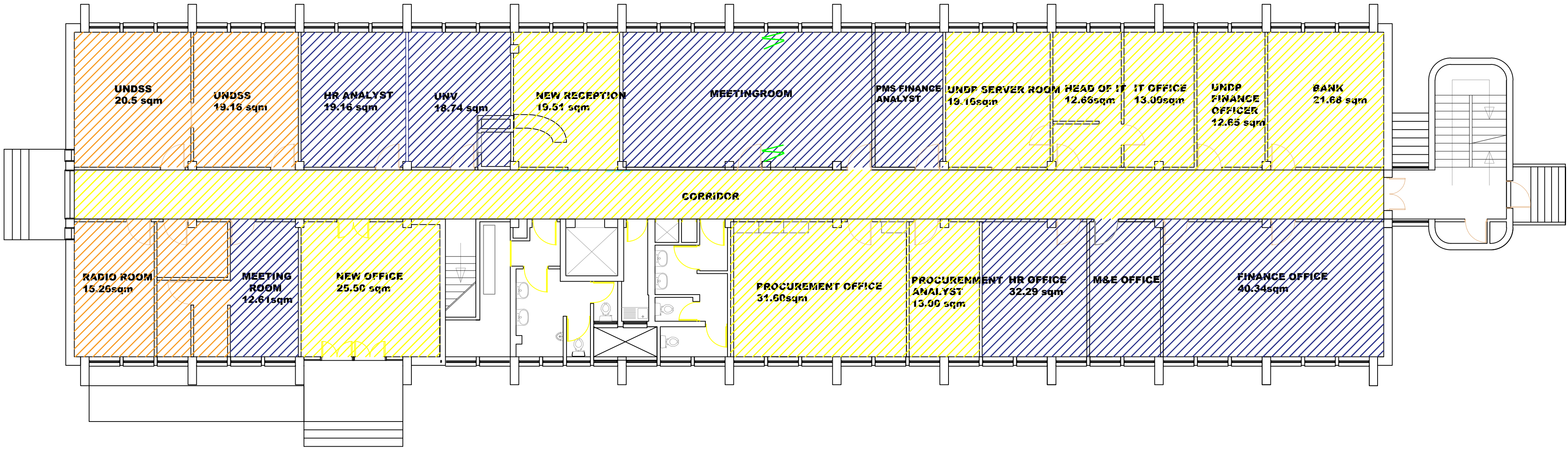
For all activities mentioned in items shall be measured by accurate field measurement with deduct all voids or opening as a net volume or area without any exceptions.





SECOND FLOOR - FLOOR TILING PLAN  
SCALE 1:100

LEGEND	
	Existing ceramic tiles
	Proposed offices area to be tiled
	Existing Carpet tiles
	Non UNDP office spaces



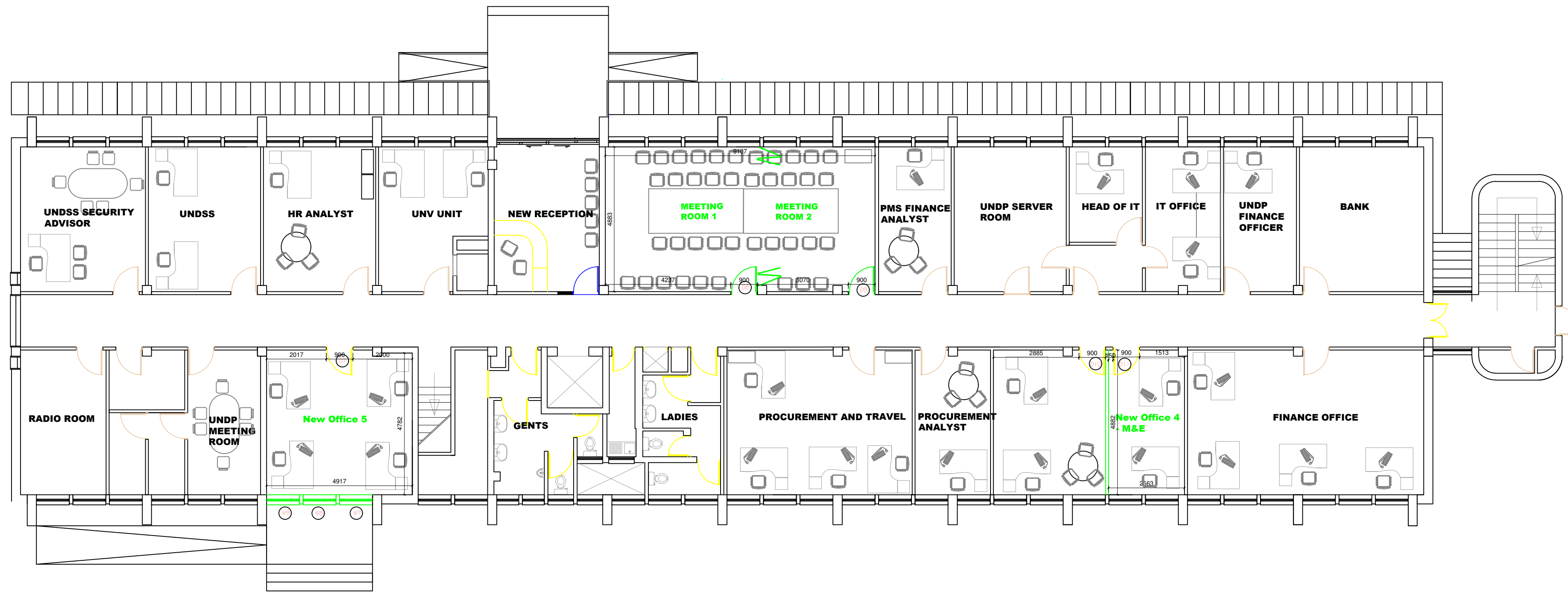
GROUND FLOOR - FLOOR TILING PLAN  
SCALE 1:100

Project Title:  
REFURBISHMENT OF UNDP  
OFFICES  
Plot No.II867  
Alick Nkhata road  
Longacres, Zambia

Drawing Title:  
PROPOSED TILING PLAN

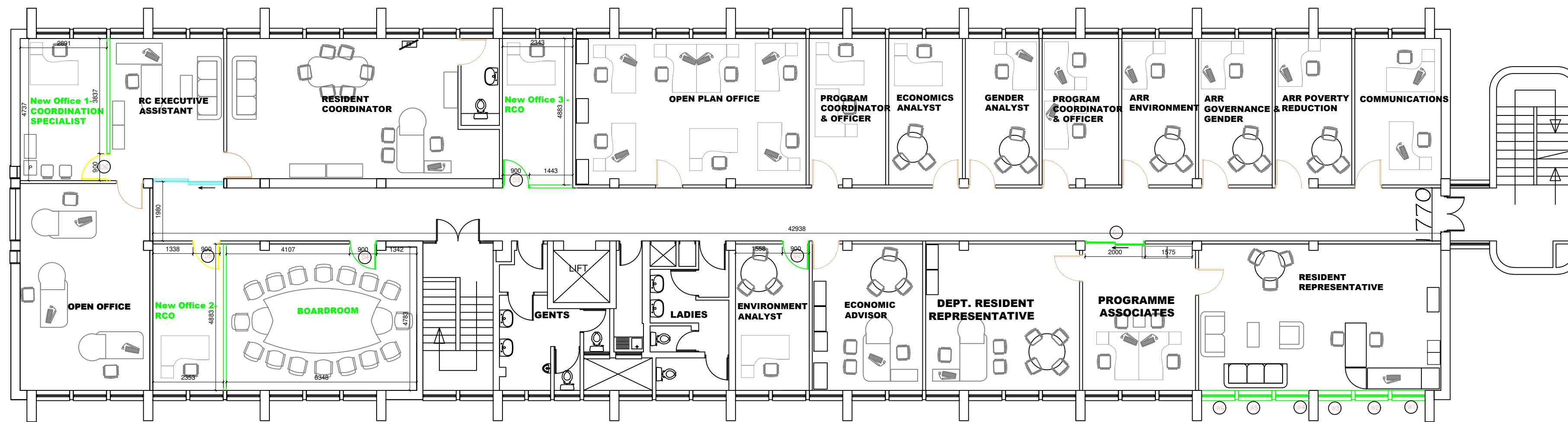
LEGEND/NOTES

REV	DESCRIPTION	DATE
Client 's sign		Architect 's sign
Client:		
United Nations Development Programme P.o Box 31966 Plot No. 11867 Alick Nkhata road,Longacres Lusaka, Zambia		
Scale : As Shown	Paper size: A1	Drawing No:03
Date : November 2019		
Dwg by: Tapela Mutasa,MZIA		
Project No : 04/19		



PROPOSED GROUND FLOOR PLAN  
SCALE 1:100

LEGEND	
<span style="color: green;">■</span>	New Construction/Installations
<span style="color: black;">■</span>	Existing walls



PROPOSED SECOND FLOOR PLAN  
SCALE 1:100

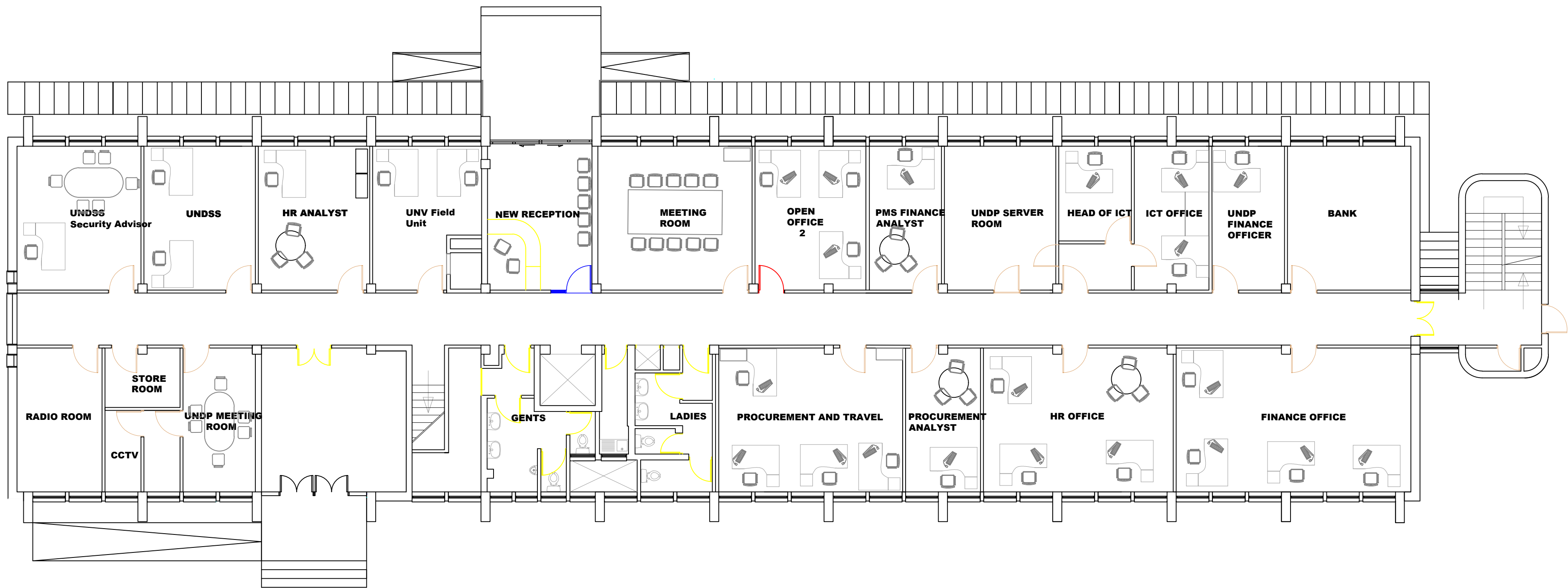
Project Title:  
REFURBISHMENT OF UNDP  
OFFICES  
Plot No.11867  
Alick Nkhata road  
Longacres, Zambia

Drawing Title:  
PROPOSED FLOOR PLAN

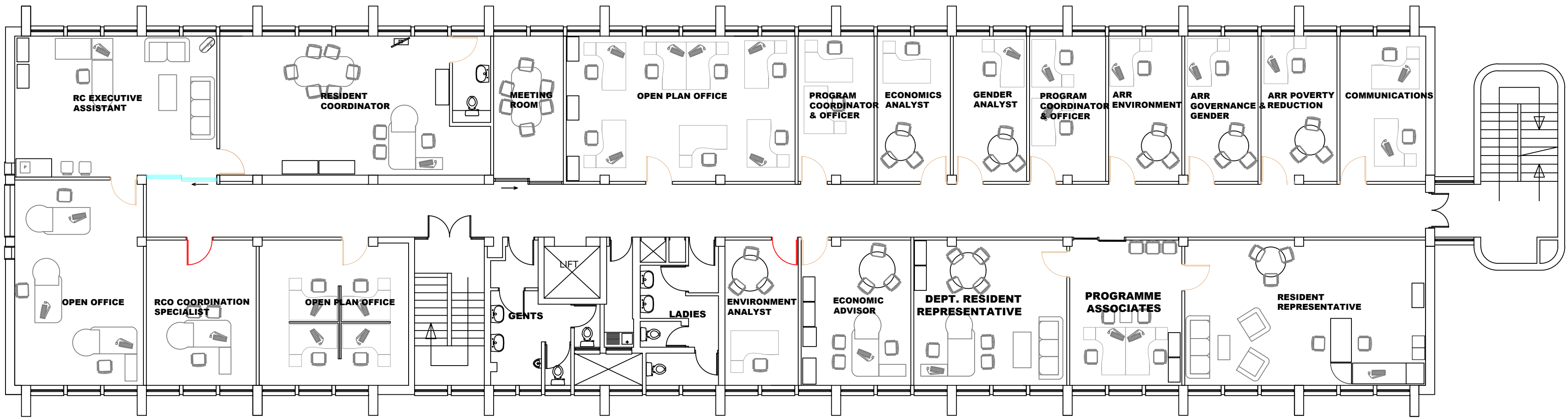
LEGEND/NOTES

REV	DESCRIPTION	DATE
Client 's sign		Architect 's sign
Client:		
United Nations Development Programme P.o Box 31966 Plot No. 11867 Alick Nkhata road,Longacres Lusaka, Zambia		
Scale : As Shown	Paper size: A1	Drawing No:04
Date : November 2019		
Dwg by:Tapela Mutasa,MZIA		
Project No : 04/19		





EXISTING GROUND FLOOR PLAN  
SCALE 1:100



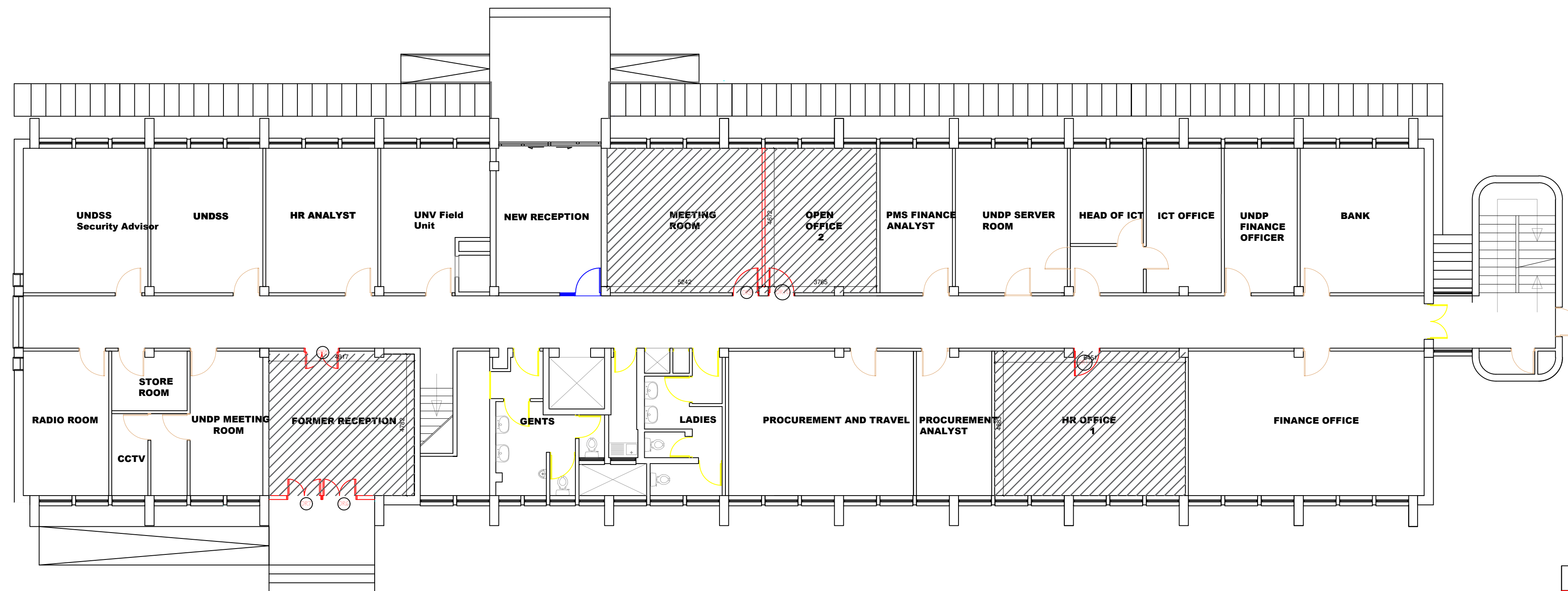
EXISTING SECOND FLOOR PLAN  
SCALE 1:100

Project Title:  
REFURBISHMENT OF UNDP  
OFFICES  
Plot No.II867  
Alick Nkhata road  
Longacres, Zambia

Drawing Title:  
EXISTING FLOOR PLANS

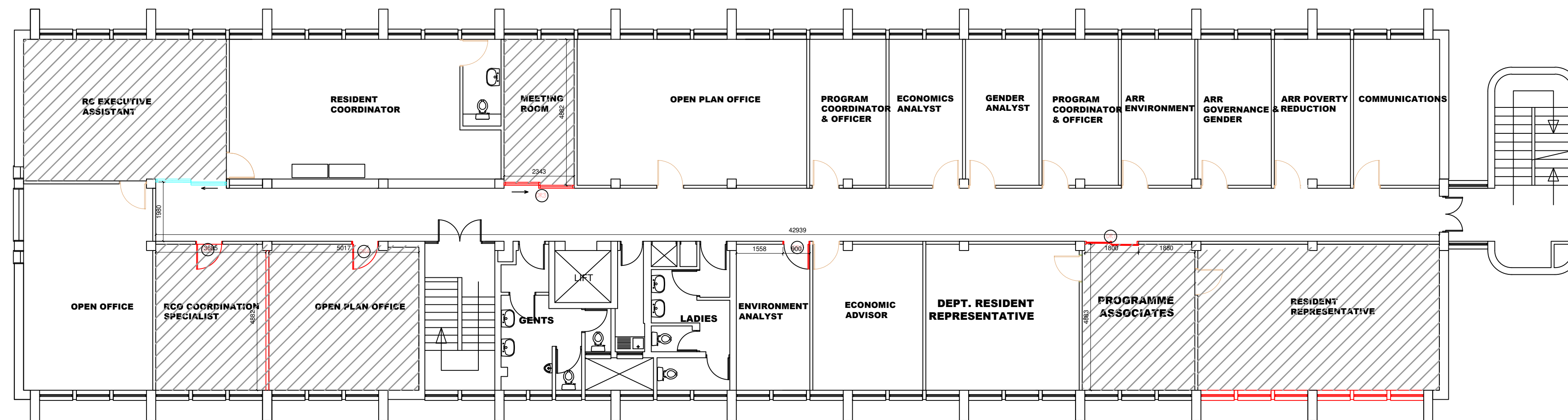
LEGEND/NOTES

REV	DESCRIPTION	DATE
Client 's sign		Architect 's sign
Client: United Nations Development Programme P.o Box 31966 Plot No. II867 Alick Nkhata road,Longacres Lusaka, Zambia		
Scale : As Shown	Paper size: A1	Drawing No:01
Date : November 2019		
Dwg by:Tapela Mutasa,MZIA		
Project No : 04/19		



GROUND FLOOR DEMOLITION PLAN  
SCALE 1:100

LEGEND	
<div></div>	Demolitions/Removals
<div></div>	Existing walls



SECOND FLOOR DEMOLITION PLAN  
SCALE 1:100

Project Title:  
REFURBISHMENT OF UNDP  
OFFICES  
Plot No.11867  
Alick Nkhata road  
Longacres, Zambia

Drawing Title:  
DEMOLITION PLAN

LEGEND/NOTES

REV	DESCRIPTION	DATE
Client 's sign		Architect 's sign
Client: United Nations Development Programme P.o Box 31966 Plot No. 11867 Alick Nkhata road,Longacres Lusaka, Zambia		
Scale : As Shown	Paper size: AI	Drawing No:02
Date : November 2019		
Dwg by:Tapela Mutasa,MZIA		
Project No : 04/19		