



REQUEST FOR QUOTATION (RFQ)

Reference: RFQ/FJI/27/20

Dear Sir / Madam:

We kindly request you to submit your quotation for **Refurbishment of Electoral Office in Vanuatu**, as detailed in Annex 1 of this RFQ. When preparing your quotation, please be guided by the form attached hereto as Annex 2.

Quotations shall be submitted on or before **August 29, 2020 (Fiji Time)** and via *e-mail* to etenderbox.pacific@undp.org.

It shall remain your responsibility to ensure that your quotation will reach the email address above on or before the deadline. Quotations that are received by UNDP after the deadline indicated above, for whatever reason, shall not be considered for evaluation. If you are submitting your quotation by email, kindly ensure that they are signed and in the .pdf format, and free from any virus or corrupted files.

Please take note of the following requirements and conditions pertaining to the supply of the above-mentioned services/works:

| Data | Specific Instructions / Requirements |
|---|--|
| Language of the Bid | English |
| Site-Visits | Location: Vanuatu Electoral Office, Independence Park, Port Vila, Vanuatu. Contact Email address: maurizio.cacucci@undp.org Contact Person: Mr. Darren Mitchelson or Mr. Maurizio Cacucci |
| Bid Validity Period | 90 days |
| Advanced Payment upon signing of contract | Not Allowed however to be discussed with UNDP. 100% payment upon completion of work. |
| Supervision | The contract will be supervised by UNDP Project Manager and Engineer who will review and certify invoice for payment. |
| Liquidated Damages | Will be imposed as follows: Percentage of contract price per day of delay: 0.05 |

| | |
|--|--|
| | Max. number of days of delay 15 days, after which UNDP may terminate the contract. |
| Currency of Bid | Local currency Vanuatu Vatu |
| Deadline for submitting requests for clarifications/ questions | 3 days before the submission deadline |
| Contact Details for submitting clarifications/questions | Focal Person in UNDP: Ronald Kumar E-mail address: ronald.kumar@undp.org |
| Manner of Disseminating Supplemental Information and responses/clarifications to queries | Direct communication to prospective Proposers by email |
| Deadline for Submission | 29 th August 2020 (Fiji Time) |
| Allowable Manner of Submitting Bids | Submission by email via etenderbox.pacific@undp.org |
| Email Submission requirements | <ul style="list-style-type: none"> ▪ Format: PDF files only ▪ All files must be free of viruses and not corrupted. ▪ Subject of Email: Quote RFQ Reference Number |
| Evaluation Method for the Award of Contract | Lowest priced technically responsive offer. |
| Expected date for commencement of Contract | September 3, 2020 |
| Maximum expected duration of contract | November 30, 2020 |
| UNDP will award the contract to: | One Bidder Only |
| Type of Contract | Contract for Civil Works |

| | |
|--|--|
| UNDP Contract Terms and Conditions that will apply | UNDP General Terms and Conditions for Works |
| Eligibility Criteria | <input checked="" type="checkbox"/> Not being included in the UN Security Council 1267/1989 list, UN Procurement Division List or other UN Ineligibility List; <input checked="" type="checkbox"/> Full acceptance of UNDP General Terms and Conditions of Works <input checked="" type="checkbox"/> Submission of Valid Business Registration <input checked="" type="checkbox"/> Minimum of 3 contracts undertaken of similar value in past 5 years |
| Evaluation Criteria | <input checked="" type="checkbox"/> Technical responsiveness/Full compliance to requirements and lowest price. <input checked="" type="checkbox"/> Earliest Delivery / Shortest Lead Time Only the preferred option shall be considered for award. |
| Documents Required | <input checked="" type="checkbox"/> Duly Accomplished Form as provided in Annex 2, and in accordance with the list of requirements in Annex 1; <input checked="" type="checkbox"/> Latest Business Registration Certificate. <input checked="" type="checkbox"/> Gantt Chart/Schedule of works <input checked="" type="checkbox"/> CV of Proposed Project Manager |

The quotation submitted shall be reviewed based on completeness and compliance of the quotation with the minimum specifications described above and any other annexes providing details of UNDP requirements.

The quotation that complies with all the specifications, requirements and offers the lowest price, as well as all other evaluation criteria indicated, shall be selected. Any offer that does not meet the requirements shall be rejected.

Any discrepancy between the unit price and the total price (obtained by multiplying the unit price and quantity) shall be re-computed by UNDP. The unit price shall prevail, and the total price shall be corrected. If the supplier does not accept the final price based on UNDP's re-computation and correction of errors, its quotation will be rejected.

Thank you and we look forward to receiving your quotation.

Sincerely yours,



Ronald Kumar
Procurement Analyst
August 17, 2020

SPECIFICATIONS

The following documents form the specifications package

Drawings

- Electoral Office – Existing Floor Plan
- Electoral Office – Option 1 - Proposed Floor Plan
- Electoral Office – Option 2 - Proposed Floor Plan
- Electoral Office – Option 3 - Proposed Floor Plan

Documents

- Specification for Electoral Office Refurbishment – Option 1
- Specification for Electoral Office Refurbishment – Option 2
- Specification for Electoral Office Refurbishment – Option 3

Annex 2

FORM FOR SUBMITTING SUPPLIER'S QUOTATION¹

(This Form must be submitted only using the Supplier's Official Letterhead/Stationery²)

We, the undersigned, hereby accept in full the UNDP General Terms and Conditions, and hereby offer to supply the items listed below in conformity with the specification and requirements of UNDP as per RFQ Reference No. RFQ/FJI/27/20:

TABLE 1 : Compliant with Technical Specifications and Requirements

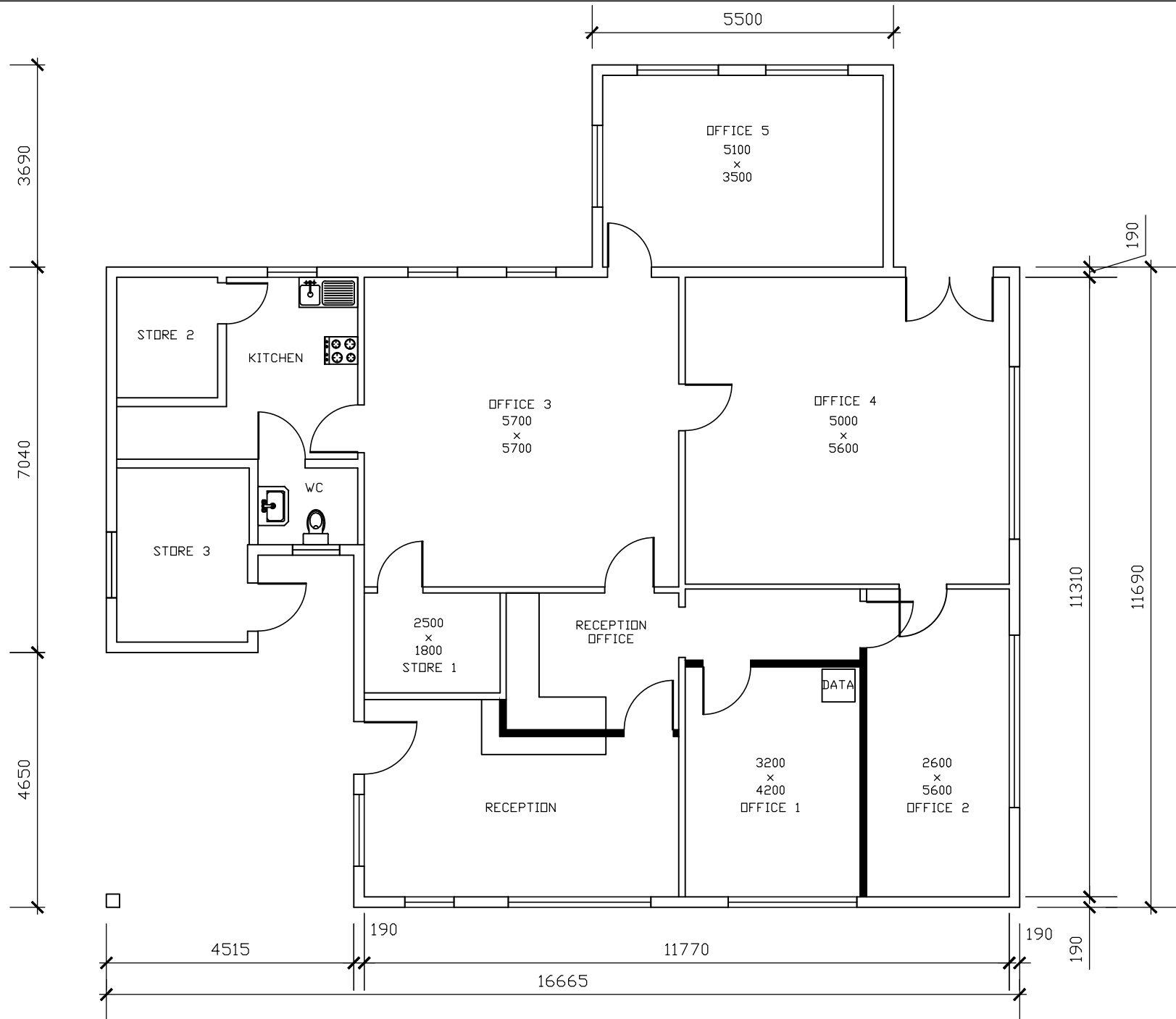
| Item No. | Description/Specification of Goods | Schedule of Requirements (Completion Timelines) | Total Material Cost | Total Labor Cost | Total Cost (Ex VAT) in VATU |
|---|------------------------------------|--|---------------------|------------------|--------------------------------|
| Option 1 | | | | | |
| A | Internal Refurbishment | | | | |
| B | External Refurbishment | | | | |
| Total Cost for Option 1 (Material + Labor) | | | | | |
| | | | | | |
| Option 2 | | | | | |
| A | Internal Refurbishment | | | | |
| B | External Refurbishment | | | | |
| Total Cost for Option 2 (Material + Labor) | | | | | |
| | | | | | |
| Option 3 | | | | | |
| A | Internal Refurbishment | | | | |
| B | External Refurbishment | | | | |
| Total Cost for Option 2 (Material + Labor) | | | | | |

All other information that we have not provided automatically implies our full compliance with the requirements, terms and conditions of the RFQ.

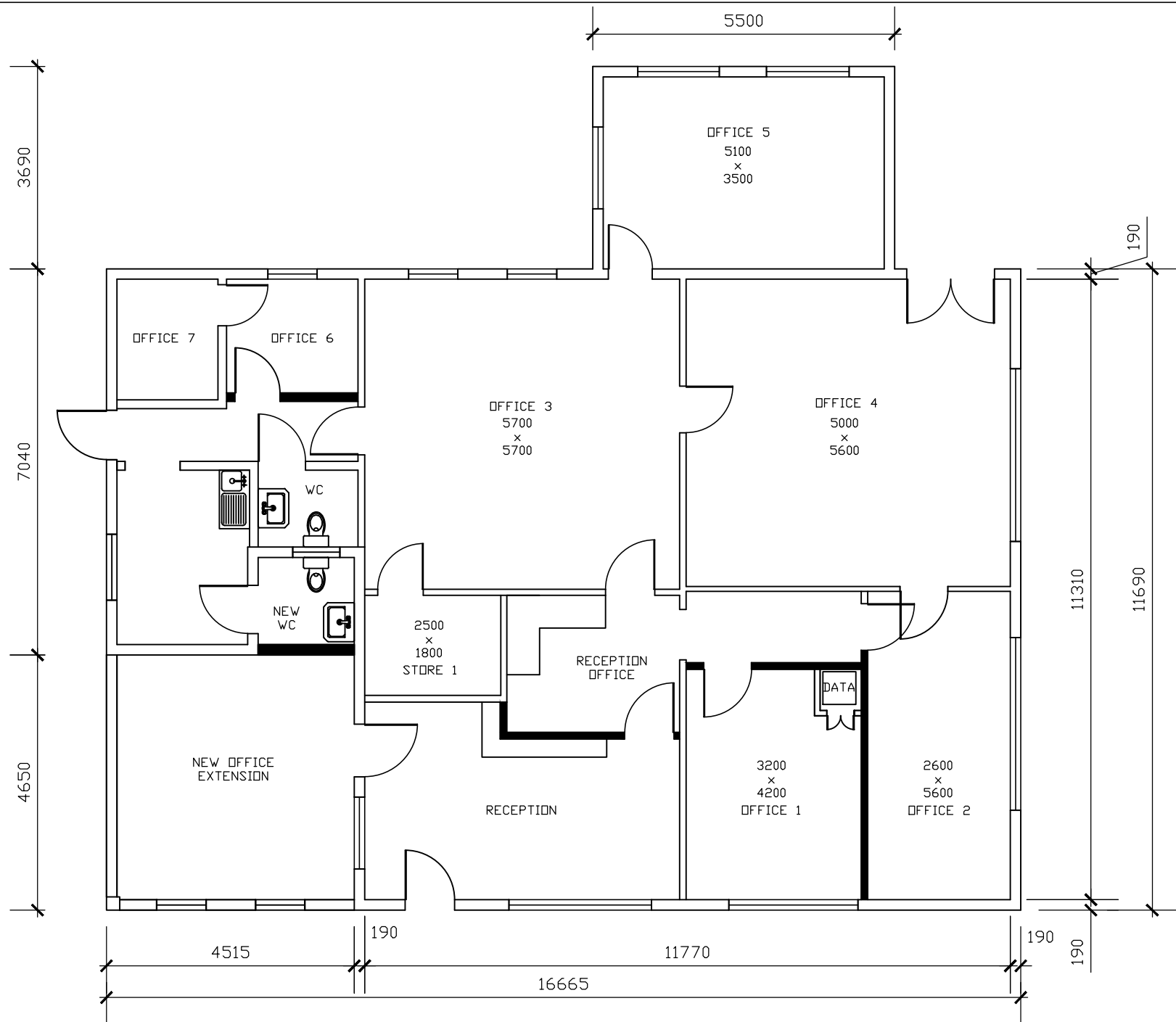
[Name and Signature of the Supplier's Authorized Person]

[Designation]

[Date]



ELECTORAL COMMISSION OFFICE
EXISTING FLOORPLAN E:1/100



ELECTORAL COMMISSION OFFICE
PROPOSED FLOORPLAN E:1/100

Specification for Electoral Office Refurbishment Option 1

A. Internal Refurbishment

1. New extension to form office area

- Construct new external walls comprising 150 x 50 H3.2 CCA treated pine framing @ 400 centres
- Supply and install 2 x new louvre window approx. 900 wide x 900 high to match existing windows as close as possible
- Line outside framework with vapour barrier and 12mm Duraclad timber cladding laid vertically
- Line inside framework with 13mm plasterboard finished to manufacturers recommendations
- Level floor and install new grouted 600 x 600 ceramic floor tiles to match existing as close as possible
- Install new timber skirting to match existing as close as possible
- Install 3 x new 1200mm long surface mounted Britex 2 x 36 W diffused battens and associated light switch
- Install 4 x DGPO (surface mounted or within cavity of new wall
- Install new A/C unit (with sufficient capacity for 75m³ room volume) and associated power supply
- Remove existing steel security grille and set aside for reuse
- Supply and install new manual cyclone shutter to match existing as close as possible
- Paint outside walls and outside of window frame to match existing □ Paint inside walls as per painting specification

2. New Side Entry Door

- Form opening in external wall suitable for an 890mm minimum width door
- Install lintel, new timber frame, solid core external grade timber door (min 890mm wide) and deadlock
- Construct small entry ramp suitable for wheelchair access
- Trim corner of external concrete drain surround to permit access to passageway

3. Reception Area

- Remove existing external window and cyclone shutter
- Form new opening to create new doorway
- Make good floor at new entry with ceramic tile threshold (to match existing as close as possible) or with concrete finish
- Install new timber frame, solid core external grade timber door and deadlock
- Carry out render repairs to door reveal
- Paint reveal and touch up façade as required with paint to match existing as close as possible
- Reinstate existing security grille

- Construct level concrete slab at entry extending approx. 1500mm from external wall with a metal awning

4. Reception Office

- Remove two glass panels from reception counter and replace with glass approx. 300mm smaller to form serving hatch. Bottom edge of glass to be polished.
- Remove section of desk behind reception counter and reuse part to form new desk along rear wall
- Cut back existing desk by approx. 500mm
- Relocate drawer unit

5. Office 1

- Relocate data cabinet as far as possible into the corner of the office
- Construct timber cabinet around data cabinet combining doors for access and ventilation holes top and bottom. Paint finish as per door specification

6. Office 4

- Replace office door with new hollow core interior door
- Reuse hardware

7. Old Kitchen Area

- Remove old sink unit and cap off water and waste flush with external wall and floor
- Remove gas cooker for reuse in new kitchen
- Construct plasterboard finished wall approx. 2100mm high, apply one coat of acrylic undercoat sealer and paint as per paint specification for walls
- Install timber door frame and hollow core internal door and passage set, paint as per painting specification

8. New Kitchen Area

- Form opening in existing wall approx. 1000mm wide x 2100mm high
- Install lintel and either dress reveals with timber and architrave or finish with cement render
- Cut back and finish existing skirting either side of opening
- Make good floor with ceramic tile threshold (to match existing as close as possible) or with concrete finish
- Remove existing ventilation grille and form opening for new window approx. 1200 wide x 1200 high to match existing as close as possible

- Supply and install new manual cyclone shutter to match existing as close as possible
- Supply and install new kitchen sink unit, sink and mixer tap (to match old existing unit as close as possible)
- Connect water supply and waste to new sink unit

9. New toilet

- Construct new wall to enclose toilet area and line with fibro cement sheet (toilet side) and plasterboard (office side)
- Install 1 x new 1200mm long surface mounted Britex 2 x 36 W diffused battens and associated light switch
- Reverse the hang of the entry door
- Remove existing floor tiles
- Lay new white ceramic floor tiles to floor and finish with skirting tile using the same tile □
Install new WC pan
- Install new basin, tap and associated cabinet (to match old existing unit as close as possible)
- Install splashback tile behind basin unit
- Connect water supply and waste to new WC and basin
- Supply and install toilet roll holder

10. Existing WC

- Remove existing basin and cabinet
- Install new basin, tap and associated cabinet (to match old existing unit as close as possible)
- Install splashback tile behind basin unit

11. Building Interior generally

- Remove all whiteboards, pictures, posters and notices from walls and set aside for rehanging
- Paint all walls, doors, door frames, inside face of windows, inside face of window frames and built in shelving in accordance with the painting specification.
- Rehang pictures and whiteboards in new designated positions to be determined

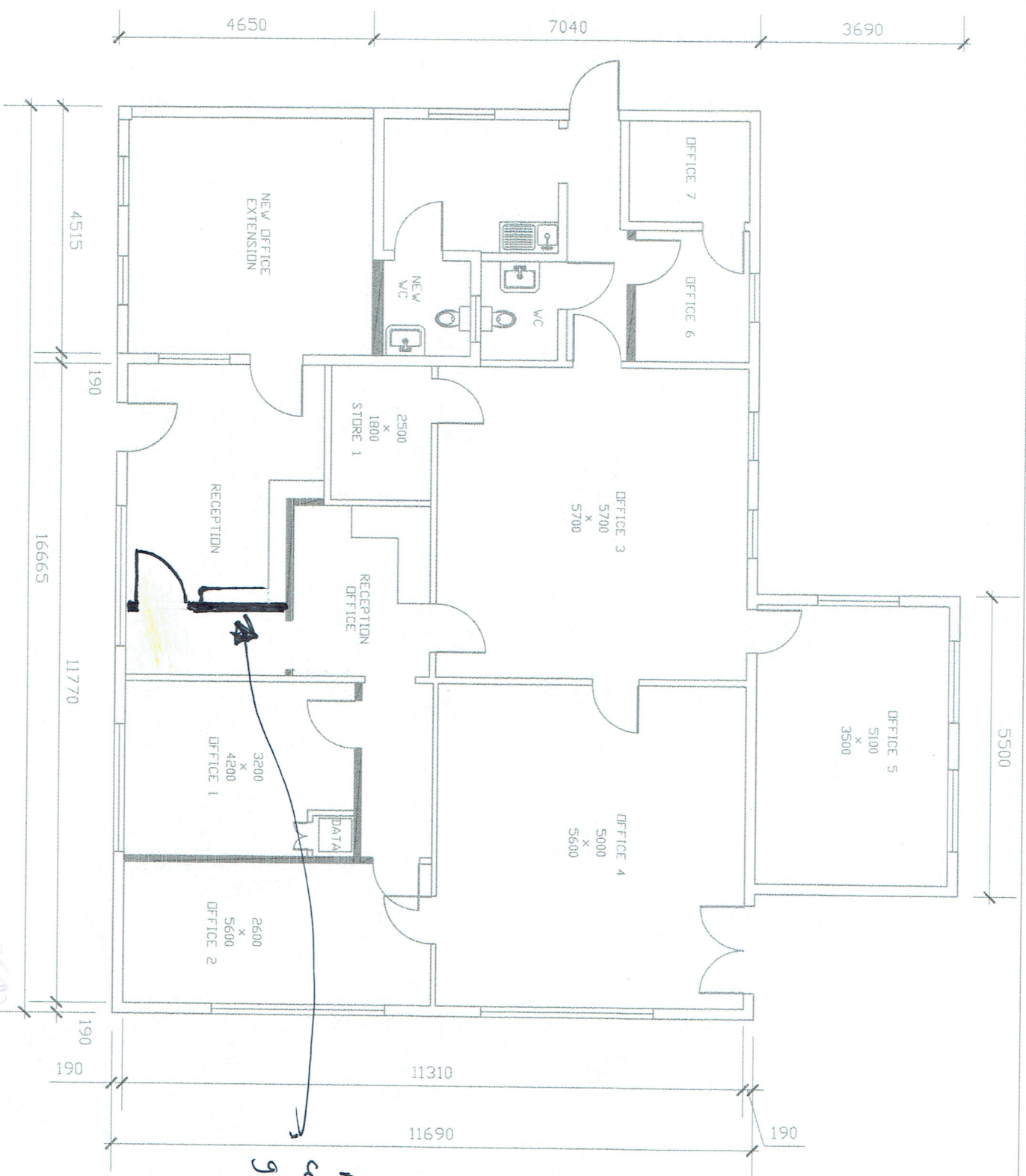
12. Painting specification

- Wipe down all wall and door surfaces prior to painting
- Scrape off any loose and flaking paint
- Remove any residue of Blu Tack and sticky tape and spot seal with oil based undercoat to prevent bleeding.
- Seal any water damaged walls with oil based undercoat to prevent bleeding.
- Fill any cracks, holes, dents and such like and sand smooth ready for painting

- Apply one coat of Resene Acrylic Primer Undercoat to all wall repairs
- Apply two coats of Resene low sheen acrylic paint (Colour: Dulux Antique White USA) to all walls
- Apply two coats of Resene semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted doors
- Apply one coat undercoat and two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously unpainted doors
- Apply two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted built in shelving

B. External Refurbishment - Painting

- Wash down all wall, window and door surfaces
- Scrape off any loose and flaking paint
- Remove any residue of Blu Tack and sticky tape and spot seal with oil based undercoat to prevent bleeding.
- Seal any water damaged walls with oil based undercoat to prevent bleeding.
- Fill any cracks, holes, dents and such like and sand smooth ready for painting
- Apply one coat of Resene Acrylic Primer Undercoat to all wall repairs
- Apply two coats of Resene low sheen acrylic paint (Colour: Dulux Antique White USA) to all walls
- Apply two coats of Resene semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted doors
- Apply one coat undercoat and two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously unpainted doors
- Apply two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted built in shelving



ELECTORAL COMMISSION OFFICE PROPOSED FLOORPLAN E:1/100

new wall with
counter & sliding
glass serving
bar

24/000
option 1

Specification for Electoral Office Refurbishment Option 2

A. Internal Refurbishment

1. New extension to form office area

- Construct new external walls comprising 150 x 50 H3.2 CCA treated pine framing @ 400 centres
- Supply and install 2 x new louvre window approx. 900 wide x 900 high to match existing windows as close as possible
- Line outside framework with vapour barrier and 12mm Duraclad timber cladding laid vertically
- Line inside framework with 13mm plasterboard finished to manufacturers recommendations
- Level floor and install new grouted 600 x 600 ceramic floor tiles to match existing as close as possible
- Install new timber skirting to match existing as close as possible
- Install 3 x new 1200mm long surface mounted Britex 2 x 36 W diffused battens and associated light switch
- Install 4 x DGPO (surface mounted or within cavity of new wall
- Install new A/C unit (with sufficient capacity for 75m³ room volume) and associated power supply
- Remove existing steel security grille and set aside for reuse
- Supply and install new manual cyclone shutter to match existing as close as possible
- Paint outside walls and outside of window frame to match existing □ Paint inside walls as per painting specification

2. New Side Entry Door

- Form opening in external wall suitable for an 890mm minimum width door
- Install lintel, new timber frame, solid core external grade timber door (min 890mm wide) and deadlock
- Construct small entry ramp suitable for wheelchair access
- Trim corner of external concrete drain surround to permit access to passageway

3. Reception Area

- Remove existing external window and cyclone shutter
- Form new opening to create new doorway
- Make good floor at new entry with ceramic tile threshold (to match existing as close as possible) or with concrete finish
- Install new timber frame, solid core external grade timber door and deadlock
- Carry out render repairs to door reveal
- Paint reveal and touch up façade as required with paint to match existing as close as possible
- Reinstate existing security grille
- Construct level concrete slab at entry extending approx. 1500mm from external wall with a metal awning

4. Reception Office

- Remove two glass panels from reception counter and replace with glass approx. 300mm smaller to form serving hatch. Bottom edge of glass to be polished.
- Remove section of desk behind reception counter and reuse part to form new desk along rear wall
- ***Build a wood partition with a new reception counter including wood bench and a serving hatch with glass approx. 150mm***
- ***Remove the existing door and reposition it at the end of the newly built reception counter***
- Cut back existing desk by approx. 500mm
- Relocate drawer unit

In bold italic the additional works compared to option 1

5. Office 1

- Relocate data cabinet as far as possible into the corner of the office
- Construct timber cabinet around data cabinet combining doors for access and ventilation holes top and bottom. Paint finish as per door specification

6. Office 4

- Replace office door with new hollow core interior door
- Reuse hardware

7. Old Kitchen Area

- Remove old sink unit and cap off water and waste flush with external wall and floor
- Remove gas cooker for reuse in new kitchen
- Construct plasterboard finished wall approx. 2100mm high, apply one coat of acrylic undercoat sealer and paint as per paint specification for walls
- Install timber door frame and hollow core internal door and passage set, paint as per painting specification

8. New Kitchen Area

- Form opening in existing wall approx. 1000mm wide x 2100mm high
- Install lintel and either dress reveals with timber and architrave or finish with cement render
- Cut back and finish existing skirting either side of opening
- Make good floor with ceramic tile threshold (to match existing as close as possible) or with concrete finish

- Remove existing ventilation grille and form opening for new window approx. 1200 wide x 1200 high to match existing as close as possible
- Supply and install new manual cyclone shutter to match existing as close as possible
- Supply and install new kitchen sink unit, sink and mixer tap (to match old existing unit as close as possible)
- Connect water supply and waste to new sink unit

9. New toilet

- Construct new wall to enclose toilet area and line with fibro cement sheet (toilet side) and plasterboard (office side)
- Install 1 x new 1200mm long surface mounted Britex 2 x 36 W diffused battens and associated light switch
- Reverse the hang of the entry door
- Remove existing floor tiles
- Lay new white ceramic floor tiles to floor and finish with skirting tile using the same tile □
Install new WC pan
- Install new basin, tap and associated cabinet (to match old existing unit as close as possible)
- Install splashback tile behind basin unit
- Connect water supply and waste to new WC and basin
- Supply and install toilet roll holder

10. Existing WC

- Remove existing basin and cabinet
- Install new basin, tap and associated cabinet (to match old existing unit as close as possible)
- Install splashback tile behind basin unit

11. Building Interior generally

- Remove all whiteboards, pictures, posters and notices from walls and set aside for rehanging
- Paint all walls, doors, door frames, inside face of windows, inside face of window frames and built in shelving in accordance with the painting specification.
- Rehang pictures and whiteboards in new designated positions to be determined

12. Painting specification

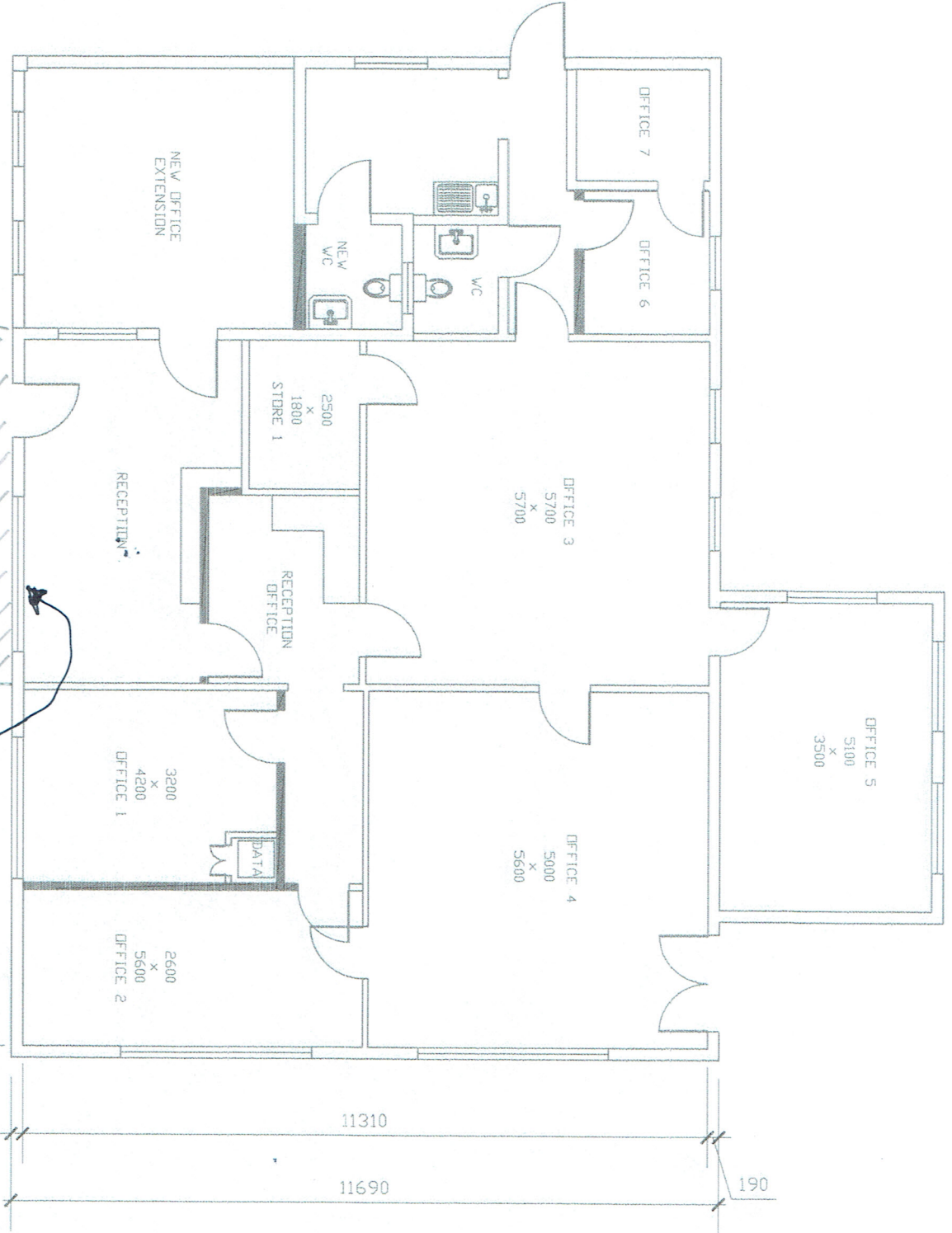
- Wipe down all wall and door surfaces prior to painting
- Scrape off any loose and flaking paint
- Remove any residue of Blu Tack and sticky tape and spot seal with oil based undercoat to prevent bleeding.

- Seal any water damaged walls with oil based undercoat to prevent bleeding.
- Fill any cracks, holes, dents and such like and sand smooth ready for painting
- Apply one coat of Resene Acrylic Primer Undercoat to all wall repairs
- Apply two coats of Resene low sheen acrylic paint (Colour: Dulux Antique White USA) to all walls
- Apply two coats of Resene semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted doors
- Apply one coat undercoat and two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously unpainted doors
- Apply two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted built in shelving

B. External Refurbishment - Painting

- Wash down all wall, window and door surfaces
- Scrape off any loose and flaking paint
- Remove any residue of Blu Tack and sticky tape and spot seal with oil based undercoat to prevent bleeding.
- Seal any water damaged walls with oil based undercoat to prevent bleeding.
- Fill any cracks, holes, dents and such like and sand smooth ready for painting
- Apply one coat of Resene Acrylic Primer Undercoat to all wall repairs
- Apply two coats of Resene low sheen acrylic paint (Colour: Dulux Antique White USA) to all walls
- Apply two coats of Resene semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted doors
- Apply one coat undercoat and two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously unpainted doors
- Apply two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted built in shelving

4650 7040 3690



NEW CONCRETE
SLAB

ELECTORAL COMMISSION OFFICE
PROPOSED FLOORPLAN E:1/100

REMOVE EXISTING
WINDOW & REPLACE
WITH NEW SLIDING
WINDOWS

OPTION 2

Specification for Electoral Office Refurbishment Option 3

A. Internal Refurbishment

1. New extension to form office area

- Construct new external walls comprising 150 x 50 H3.2 CCA treated pine framing @ 400 centres
- Supply and install 2 x new louvre window approx. 900 wide x 900 high to match existing windows as close as possible
- Line outside framework with vapour barrier and 12mm Duraclad timber cladding laid vertically
- Line inside framework with 13mm plasterboard finished to manufacturers recommendations
- Level floor and install new grouted 600 x 600 ceramic floor tiles to match existing as close as possible
- Install new timber skirting to match existing as close as possible
- Install 3 x new 1200mm long surface mounted Britex 2 x 36 W diffused battens and associated light switch
- Install 4 x DGPO (surface mounted or within cavity of new wall
- Install new A/C unit (with sufficient capacity for 75m³ room volume) and associated power supply
- Remove existing steel security grille and set aside for reuse
- Supply and install new manual cyclone shutter to match existing as close as possible
- Paint outside walls and outside of window frame to match existing □ Paint inside walls as per painting specification

2. New Side Entry Door

- Form opening in external wall suitable for an 890mm minimum width door
- Install lintel, new timber frame, solid core external grade timber door (min 890mm wide) and deadlock
- Construct small entry ramp suitable for wheelchair access
- Trim corner of external concrete drain surround to permit access to passageway

3. Reception Area

- Remove existing external window and cyclone shutter
- Form new opening to create new doorway
- Make good floor at new entry with ceramic tile threshold (to match existing as close as possible) or with concrete finish
- Install new timber frame, solid core external grade timber door and deadlock
- Carry out render repairs to door reveal
- Paint reveal and touch up façade as required with paint to match existing as close as possible
- Reinstate existing security grille
- Construct level concrete slab at entry extending approx. **9000mm** from external wall **with steps and a metal awning**

In bold italic the additional works compared to option 1

4. Reception Office

- Remove two glass panels from reception counter and replace with glass approx. 300mm smaller to form serving hatch. Bottom edge of glass to be polished.
- Remove section of desk behind reception counter and reuse part to form new desk along rear wall
- ***Remove the existing windows (approx.2500mm) and replace with three serving hatches with glass and a shelf of approx. 900mm (450mm external, 450mm internal)***
- ***Build an external concrete platform of approx.***
- Cut back existing desk by approx. 500mm
- Relocate drawer unit

In bold italic the additional works compared to option 1

5. Office 1

- Relocate data cabinet as far as possible into the corner of the office
- Construct timber cabinet around data cabinet combining doors for access and ventilation holes top and bottom. Paint finish as per door specification

6. Office 4

- Replace office door with new hollow core interior door
- Reuse hardware

7. Old Kitchen Area

- Remove old sink unit and cap off water and waste flush with external wall and floor
- Remove gas cooker for reuse in new kitchen
- Construct plasterboard finished wall approx. 2100mm high, apply one coat of acrylic undercoat sealer and paint as per paint specification for walls
- Install timber door frame and hollow core internal door and passage set, paint as per painting specification

8. New Kitchen Area

- Form opening in existing wall approx. 1000mm wide x 2100mm high
- Install lintel and either dress reveals with timber and architrave or finish with cement render
- Cut back and finish existing skirting either side of opening
- Make good floor with ceramic tile threshold (to match existing as close as possible) or with concrete finish

- Remove existing ventilation grille and form opening for new window approx. 1200 wide x 1200 high to match existing as close as possible
- Supply and install new manual cyclone shutter to match existing as close as possible
- Supply and install new kitchen sink unit, sink and mixer tap (to match old existing unit as close as possible)
- Connect water supply and waste to new sink unit

9. New toilet

- Construct new wall to enclose toilet area and line with fibro cement sheet (toilet side) and plasterboard (office side)
- Install 1 x new 1200mm long surface mounted Britex 2 x 36 W diffused battens and associated light switch
- Reverse the hang of the entry door
- Remove existing floor tiles
- Lay new white ceramic floor tiles to floor and finish with skirting tile using the same tile □
Install new WC pan
- Install new basin, tap and associated cabinet (to match old existing unit as close as possible)
- Install splashback tile behind basin unit
- Connect water supply and waste to new WC and basin
- Supply and install toilet roll holder

10. Existing WC

- Remove existing basin and cabinet
- Install new basin, tap and associated cabinet (to match old existing unit as close as possible)
- Install splashback tile behind basin unit

11. Building Interior generally

- Remove all whiteboards, pictures, posters and notices from walls and set aside for rehanging
- Paint all walls, doors, door frames, inside face of windows, inside face of window frames and built in shelving in accordance with the painting specification.
- Rehang pictures and whiteboards in new designated positions to be determined

12. Painting specification

- Wipe down all wall and door surfaces prior to painting
- Scrape off any loose and flaking paint
- Remove any residue of Blu Tack and sticky tape and spot seal with oil based undercoat to prevent bleeding.

- Seal any water damaged walls with oil based undercoat to prevent bleeding.
- Fill any cracks, holes, dents and such like and sand smooth ready for painting
- Apply one coat of Resene Acrylic Primer Undercoat to all wall repairs
- Apply two coats of Resene low sheen acrylic paint (Colour: Dulux Antique White USA) to all walls
- Apply two coats of Resene semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted doors
- Apply one coat undercoat and two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously unpainted doors
- Apply two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted built in shelving

B. External Refurbishment - Painting

- Wash down all wall, window and door surfaces
- Scrape off any loose and flaking paint
- Remove any residue of Blu Tack and sticky tape and spot seal with oil based undercoat to prevent bleeding.
- Seal any water damaged walls with oil based undercoat to prevent bleeding.
- Fill any cracks, holes, dents and such like and sand smooth ready for painting
- Apply one coat of Resene Acrylic Primer Undercoat to all wall repairs
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- Apply one coat undercoat and two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously unpainted doors
- Apply two coats of semi gloss acrylic paint (Colour: Dulux Antique White USA) to all previously painted built in shelving