

Ref. ITB-2021-PAL-145607  
 UNDP e-Tendering event ID: PAL10-9573  
 Addendum 01 to the ITB



### Addendum No.1 to the ITB

Invitation to Bid (ITB): Establish and Refurbish of:	
Lot 1: A specialized court in Nablus Court building for the benefit of cases of Violence Against Women	
Lot 2: One Stop Centre in Nablus Police Station	
ITB issue Date	23 June 2021
	As set in the relevant e-tendering event
Deadline for submission of bids	PAL10-0000009573 <b>15 July 2021 at 11:00 AM EDT (6:00 P.M. Jerusalem time)</b>

This correspondence pertaining to the above-mentioned project should be considered as an integral part of the tender documents. Below please find the UNDP / PAPP clarifications and an official reply to all inquiries raised by participant bidders following the pre-bid meeting held on **5 July 2021** and the site visit to the project sites.

#### A. Notes

No	Note	Clarification
<b>Notes for Lot 1</b>		
1	Basement connections remain as is ?	The connections of services in the parking will not be touched, false ceiling will be implemented to cover all the pipes, ducts, .... etc.
2	Working at evening/night is only permitted after approval from court administration (applies for both lots)	The contractor must use his resources to the maximum extent while opening the courthouse in the weekends or after working hours.
3	Workers to be approved by court admin, and should wear badges with work Customs (applies for both lots)	In case of any laborer who violates this condition, the contractor must replace him and get him out of the project site immediately.
4	Furniture local vs imported,	As mentioned in the preamble of the furniture, the contractor has to attach with the submitted documents the source of the furniture and the country of origin. The local products that meet the specifications are encouraged.
<b>Notes for Lot 2</b>		

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No	Note	Clarification
5	Elevator pit location vs risk of ground water	The side of the steel structure should be covered by steel sheets or fire rated gypsum boards; the designer has provided a modified drawing for the elevator walls attached with this addendum. Regarding the ground water, the contractor before starting the excavation, should conduct a test pit to make sure excavation is possible or not. If not, the levels and the footing design will be modified accordingly.
6	Check on Civil defense requirements for elevator if fully considered in design	The designer contacted the Civil Defense authority and provided us with a detail drawing for the elevator, attached with this addendum. The contractor has to consider all the requirements of the Palestinian Civil Defense in pricing the item of the elevator.
7	Crushed Ytong layer thickness under tiles,	As mentioned in the item, the backfilling under the tiles is composed, among others, of 5cm small size aggregate and the remaining is crushed Ytong. The total thickness depends on the slope needed for sewage pipes.
8	Coordination with police on laborers and implementing work in general	The responsible police staff will coordinate with the police admin to open the rear gate to be used for materials entry, while the laborers should pass through the main gate who to be checked as per policy.
9	Item 13.5.13	will be changed to wall box not floor box.
10	Item 13.5.3	Sockets in toilets will be cancelled, the quantity will be Zero

**B. Response to bidder queries related to Lot 2:**

For Lot 2		
No	Query(s) Raised	Reply/Clarification
1	Item 6.01, 6.03: Water Absorption of Tiles maximum by weight is not less than 0.05% , The 0.01% as mentioned in BOQ Cannot be achievable, please advise.	Absorption by weight for tiles in sections 6.01 and 6.03 shall be not more than 0.05%.
2	Item 6.04: Ceramic Tiles Absorption percent by Weight is not achievable (0.01%) , it could be 10% , Also what is the height of Porcelain Skirting , and is it with the same size of Floor Tiles?	Absorption by weight for tiles in sections 6.04 shall be not more than 6%, the skirting height is 10cm and with the same size of the tiles.

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<b>For Lot 2</b>		
<b>No</b>	<b>Query(s) Raised</b>	<b>Reply/Clarification</b>
3	Item 3.01: Elevator Shaft according to Civil Defense (As In past Projects Experience), will need closing all around and to be flush from inside, Will be there a new item for closing?	Details for closure of elevator shaft are attached, where closure galvanized metal sheet in section shown to be flush from inside the shaft. The price should be included in item 3.01.
4	Item 3.01: Also the Height of floors is not existing in the Section (Drawing S01), Can you please provide us with the vertical dimensions?	Each floor clear height average 3.84 meters.
5	Item 5.01: Is this Item for Demolished wall intersection with external walls and wherever, what about the variance in the levels of plaster after demolishing?	Item no. 5.01 is a plastering of new block walls, while item 5.02 is plaster repairs. As mentioned in the item, this item should be implemented by professional experienced plasterer. Plaster removal is required as needed to make space for both plastering lathe as well as ensure smoothing level variance if exists.
6	Item 9.03: Insulation mentioned here is 4" of Rockwool, while in Book of Detailed C001 is 2" Fiberglass, what is required and what is the density?	Insulation is 2" Rockwool.
7	Item (Lift Page 36/40 of BOQ): Shaft size issued (360x230 cm, Cabin @ 190x190 cm) while in Dwg (S01) Shaft is (180x180cm) , and so cabin will be less than, what is the correct Dimensions?	Elevator Shaft size is 180x180cm. Also, a sump pump is required as part of the lift cost, according to the following: Price for the elevator includes supply and installation of submersible pump for lift pit including all accessories complete with all needed valves like gate valves, check valves, electrical control, and all accessories and to the approval of the Engineer. The price includes PVC (PN10) pipe which is free discharge. Submersible pump of 0.5L\S at 10 M head capacities, with drainage to external outside yard.

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**Other Notes:**

- Another **site visit** will be arranged to access the building space in Lot 2 which was closed during the site visit of 5 July 2021 (**as** to access the building space to refurbished). For those bidders interested, the site visit will be at **Lot 2 - Nablus Police Station** and will take place **at 11:00 a.m. on 10 July 2021**. For inquiries on the exact address, please contact - **Mobile: 0599 - 339 610**
- Regarding Original bid security to be submitted before opening: Original Bid Security should be sent to the below address with a PDF copy submitted as part of the electronic submission: The original hard copy of the bid security must reach the UNDP office (by hand or courier) by no later than the deadline of bids submission. Original bid security should be submitted to (Dawood Abu Saadeh; mobile # 0599-339610) Ramallah office by Thursday 15 July 2021 COB max.
- Regarding the “Provisional” item in the Bill of Quantities (BoQ) of Lot 2, It should be noted that UNDP may choose not to implement this item and cancel it during implementation. However, in case UNDP decided to implement this item, then the awarded tenderer is obligated to implement it at the same unit rate quoted in his original bid.
- The Bidders shall quote competitive and reasonable prices for BoQ items, including for Provisional items, with an acceptable margin of deviation in comparison to the real local market prices at the time of bids preparation. UNDP, however, reserves the right either to implement or cancel the Provisional items. In case of Unbalanced pricing (i.e. despite an acceptable total evaluated price, the price of one or more BoQ line items is significantly over or understated), UNDP had the right to reject the unbalanced bid if it determines that the lack of balance does pose an unacceptable Risk.
- For the two Lots, and given the respective buildings/premises are operational, the contractor shall take into consideration the dynamic and active location of the works. The awarded contractor shall make all necessary arrangements and take all precautionary measures so as not to endanger the safety of the employees, users, and visitors of/to the premises. The safety and quality assurance measures shall be always maintained on site during and after the working hours throughout the contract duration, in full compliance with the Safety and health codes and manuals obligatory under the contract.
- Coordination with the Nablus municipality if, when, and to the extent needed, is the responsibility of the awarded contractor, under UNDP Engineer overall supervision.

Interested bidders shall acknowledge receipt of this addendum by returning/including it, signed, and stamped, with their offers.

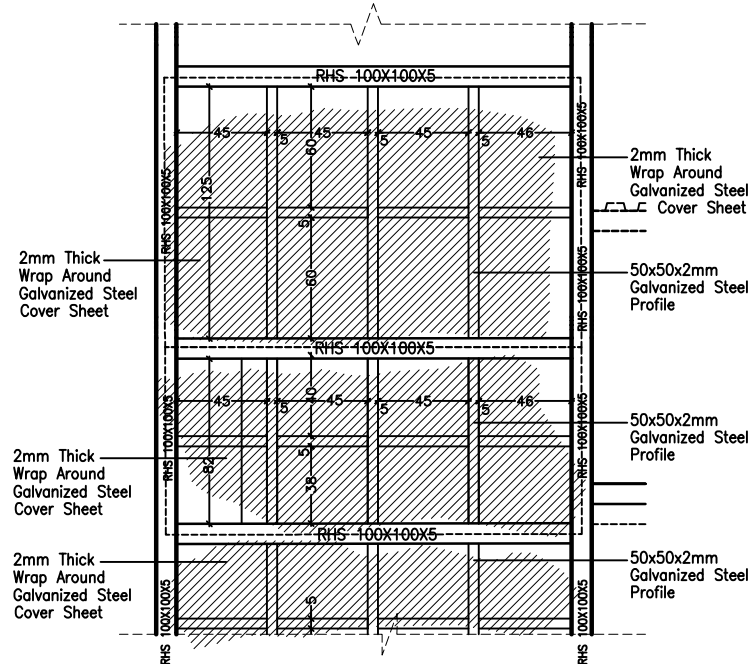
Signature: *Shehadeh Habash*

Name: Shehadeh Habash

Title: Head of Procurement Unit  
UNDP/PAPP

Attachment: Modified Elevator Drawing.

Existing Wall

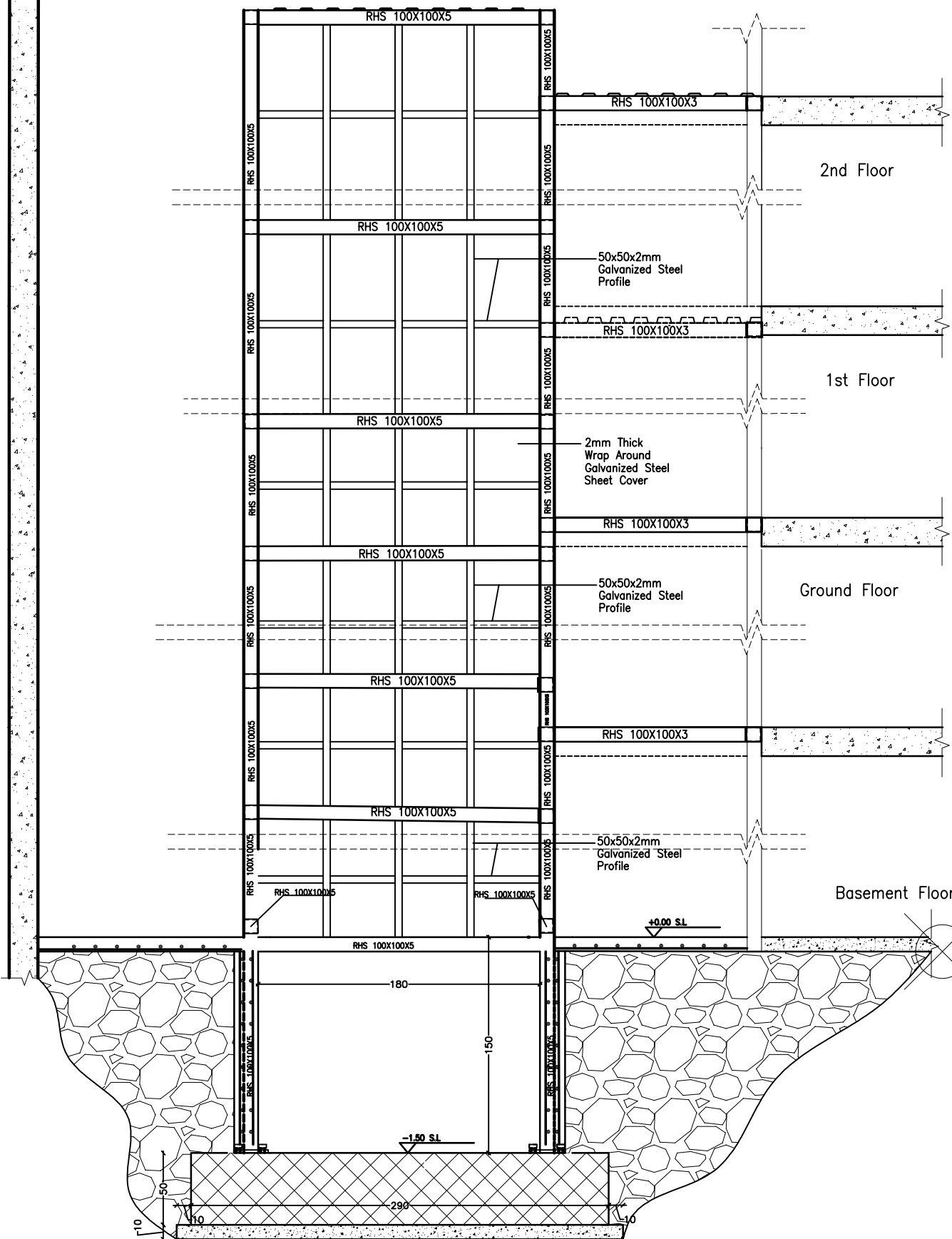


Typical Galvanized Steel Sheet Cover on All Sides of Elevator Shaft.

Cover Sheet to include 50x50x2mm Galvanized Steel Profile, as Shown to secure Cover Steel Sheets

50x50x2mm Profile to be welded to Elevator Steel Structure.

Sheet metal screws to be used for additionally secure sheets to metal grid



Section A-A

Scale 1 - 25

NOTES :

+0.00 = Existing Slab on Grade Level (Basement Floor)

Reinforced concrete.

REVISION	DATE OF REVISION	INITIALS	REVISION DETAILS



NABLUS ONE STOP CENTER

PROJECT No. :

ISSUE : TENDER

**Elevator Steel Sheet Cover Typical Detail**

DRAWING :

DRAWN : SAFFARINI STAFF NO :	APPROVED: SAFFARINI STAFF NO. :	DATE: June, 2021
CHECKED: SAFFARINI STAFF NO :	REF:	SCALE: 1/100

SAFFARINI & ASSOCIATES  
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Rev.: 1